



P.O. Box 265  
Goshen, KY 40026  
(502) 228-7298  
Operations@roofmgmt.net

Design & Consulting



## ***ROOF EVALUATION REPORT***

***FRANKLIN TOWNSHIP COMMUNITY SCHOOL CORPORATION  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA***

***REVISED APRIL 12, 2021***



## **SUMMARY PAGE**

A Roof Evaluation was completed on the **South Creek Elementary School** located at **9010 East Southport Road** in **Indianapolis, Indiana** on **March 17, 2021**. The roof area on the facility is approximately **105,408 square feet** and has been divided into **nineteen (19)** sections referred to as **A – C, D1, D2, E1, E2, F1, F2, F3, G1, G2, H1, H2, I1, I2, J1, J2 and K**. Observations on each section and a breakdown of areas of wet insulation are provided below. Additional information provided for each section includes color photographs detailing the locations of all notable conditions observed during the inspection, recommended actions to correct the defects, thermograms showing selected wet areas detected in the Non Destructive Infrared Moisture Survey (N.D.I.M.S.), a spreadsheet with five year capital and expense budget estimates and specific information on each section, core analysis and a CAD drawing showing the location of all noted conditions and all areas of wet insulation detected during our N.D.I.M.S.

**A NON-DESTRUCTIVE INFRARED MOISTURE SURVEY** was completed on **Sections A, B & C** on **Tuesday, March 2, 2021**. The total square footage of the roof areas surveyed is approximately **26,294 square feet**. During the survey, **six (6) areas of wet insulation were detected, totaling 56 square feet or less than 1% of the roof area surveyed**. The wet areas were marked on the surface of the roof in blue paint and have been plotted on the drawing, which is included in this report.

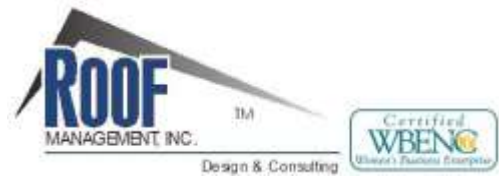
## **OBSERVATIONS**

### **ROOF SECTIONS A, B & C**

The **Fully Adhered EPDM Roof System** on these sections appear to be in **Fair Condition**. The noted defects in need of attention include moisture laden insulation identified in the Infrared Roof Moisture Survey, voids in isolated areas of membrane base and corner flashings and other miscellaneous items. In addition, fall hazards were identified at the roof hatches on Sections A, B and C. A non-penetrating roof hatch guard rail with self-closing gate should be added at the roof hatches.

**With proper repair of the conditions noted in the photo section of this report and continued preventive maintenance, these roof systems should remain serviceable for several years.**

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**ROOF SECTIONS D1, D2, E1, E2, F1, F2, F3, G1, G2, H1, H2, I1, I2, J1 & J2**

The **Dimensional Shingle Roof System** on these sections appears to be in **Poor Condition**. The noted defects indicating these roofs are at the end of their serviceable life include widespread previous caulk and shingle repairs, nail pops, damaged shingles and other miscellaneous items.

**Based on the conditions noted in the photo section of this report, we recommend replacement of these roof systems in 2022.**

**ROOF SECTION K**

The **Metal Roof System** on this section appears to be in **Fair Condition**. There were no noted defects in need of attention at this time.

**With proper continued preventive maintenance, this roof system should remain serviceable for several years.**

**BREAKDOWN OF WET INSULATION**

<b><u>Roof Section</u></b>	<b><u>Sq. Ft. Surveyed</u></b>	<b><u>Wet Area #</u></b>	<b><u>Sq. Ft. Wet</u></b>	<b><u>% Wet</u></b>
A	14,494	<i>No Wet Detected</i>		
B	7,765	1	15	<b>0.24%</b>
		2	4	
		<b>Total Wet Section B</b>	<b>19 sq. ft. wet</b>	
C	4,035	3	16	<b>0.92%</b>
		4	12	
		5	4	
		6	5	
		<b>Total Wet Section C</b>	<b>37 sq. ft. wet</b>	
<b>Total Scanned</b>	<b>26,294 sq. ft.</b>		<b>56 sq. ft. wet</b>	<b>Less than 1%</b>

INSPECTION DATE: <b>REVISED</b> APRIL 12, 2021				RMI #: 021-192		OWNER: FTCSC				PROJECT MANAGER: FRED MCWHORTER II				
BUILDING NAME: SOUTH CREEK ELEM. SCHOOL				BUILDING ADDRESS: 9010 EAST SOUTHPORT ROAD, INDIANAPOLIS, INDIANA										
TOTAL SQ/FT: 105,408			ROOF CORE SAMPLES WERE NOT TESTED FOR ACM.											
SECTION	SQ.FT OF SECTION	TYPE OF ROOF SYSTEM	MANUFACTURER	WARRANTY	CONDITION OF ROOF	REPLACE OR SERVICE ROOF	YEAR TO REPLACE ROOF	ESTIMATED REPLACEMENT COST	2021 BUDGET	2022 BUDGET	2023 BUDGET	2024 BUDGET	2025 BUDGET	
A	14,494	FULLY ADHERED EPDM	FIRESTONE	MR033086 EXP 12/22/26	FAIR	SERVICE	2028	\$105,000.00	\$400.00	\$400.00	\$600.00	\$600.00	\$800.00	
B	7,765	FULLY ADHERED EPDM	FIRESTONE	MR033086 EXP 12/22/26	FAIR	SERVICE	2028	\$64,000.00	\$2,800.00	\$300.00	\$300.00	\$500.00	\$600.00	
C	4,035	FULLY ADHERED EPDM	FIRESTONE	MR033086 EXP 12/22/26	FAIR	SERVICE	2028	\$42,000.00	\$3,000.00	\$200.00	\$300.00	\$400.00	\$400.00	
D1	4,195	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$34,000.00	\$200.00	\$34,000.00	\$200.00	\$200.00	\$200.00	
D2	3,916	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$32,000.00	\$200.00	\$32,000.00	\$200.00	\$200.00	\$200.00	
E1	10,086	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$80,000.00	\$300.00	\$80,000.00	\$300.00	\$300.00	\$300.00	
E2	3,853	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$31,000.00	\$200.00	\$31,000.00	\$200.00	\$200.00	\$200.00	
F1	3,116	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$25,000.00	\$200.00	\$25,000.00	\$200.00	\$200.00	\$200.00	
F2	3,835	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$31,000.00	\$200.00	\$31,000.00	\$200.00	\$200.00	\$200.00	
F3	929	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$9,000.00	\$200.00	\$9,000.00	\$200.00	\$200.00	\$200.00	
G1	8,438	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$68,000.00	\$300.00	\$68,000.00	\$300.00	\$300.00	\$300.00	
G2	10,215	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$82,000.00	\$300.00	\$82,000.00	\$300.00	\$300.00	\$300.00	
H1	3,242	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$26,000.00	\$200.00	\$26,000.00	\$200.00	\$200.00	\$200.00	
H2	5,374	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$43,000.00	\$200.00	\$43,000.00	\$200.00	\$200.00	\$200.00	
I1	3,853	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$31,000.00	\$200.00	\$31,000.00	\$200.00	\$200.00	\$200.00	
I2	8,719	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$70,000.00	\$300.00	\$70,000.00	\$300.00	\$300.00	\$300.00	
J1	4,122	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$33,000.00	\$200.00	\$33,000.00	\$200.00	\$200.00	\$200.00	
J2	4,292	DIMENSIONAL SHINGLES	UNKNOWN	UNKNOWN	POOR	SERVICE	2022	\$35,000.00	\$200.00	\$35,000.00	\$200.00	\$200.00	\$200.00	
K	929	METAL	UNKNOWN	UNKNOWN	FAIR	SERVICE	2030	\$38,000.00	\$300.00	\$300.00	\$300.00	\$300.00	\$300.00	

\*Fall Protection- Evaluation of the safety measures for all personnel accessing roofs and while on the roof is wholly the responsibility of the property owner/management. Certain roof locations and conditions may require fall protection, which is further identified by OSHA (Occupational Safety and Health Act) standards and model building codes. Determining the need for fall protection or other safety measures required is not within RMI's scope of work nor included in the estimates provided herein.

\*These estimates do not include any design, contract administration, travel, non-scheduled expenses such as deck/insulation allowance, interior protection, and asbestos abatement allowance. All estimates are subject to change based on future market conditions and are based on current market pricing.

*CAPITAL COST ESTIMATE	\$0.00	\$630,000.00	\$0.00	\$0.00	\$0.00
*EXPENSE COST ESTIMATE	\$9,900.00	\$1,200.00	\$4,900.00	\$5,200.00	\$5,500.00
*TOTAL ESTIMATE	\$9,900.00	\$631,200.00	\$4,900.00	\$5,200.00	\$5,500.00

**2022 TOTAL CAPITAL REQUIREMENT**  
**SECTIONS: D1,D2,E1,E2,F1,F2,F3,G1,G2,H1,H2, I1, I2, J1, J2**

Roof Replacement Cost Estimate	\$630,000.00
Non-Sched. Anticipated Deck/Insulation Replacement Allow.	\$25,000.00
RMI Bid Pkg., Contract Administration and Travel	\$37,200.00
<b>TOTAL CAPITAL REQUIREMENT</b>	<b>\$692,200.00</b>



**ROOF EVALUATION**

**R.M.I. # 021-192  
REVISED APRIL 12, 2021**

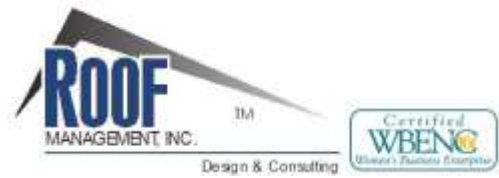
**CORE ANALYSIS**

**CORE SAMPLE #:** *One, Field Membrane, Roof Section A*  
**NUMBER OF PLIES:** *One (EPDM)*  
**INSULATION TYPE & THICKNESS:** *Wood Fiber 0.5" / Polyisocyanurate (Tapered)*  
**BITUMEN TYPE:** *N/A*  
**VAPOR RETARDER:** *N/A*  
**DECK TYPE:** *Steel*  
**DRAINAGE:** *Interior Drains with Overflow Interior Drains*  
**REMARKS:** *The core consists of a Fully Adhered EPDM Roof System, over Wood Fiber insulation, over tapered Polyisocyanurate insulation, over the decking.*

**CORE SAMPLE #:** *Two, Field Membrane, Roof Section B*  
**NUMBER OF PLIES:** *One (EPDM)*  
**INSULATION TYPE & THICKNESS:** *Wood Fiber 0.5" / Polyisocyanurate (Tapered)*  
**BITUMEN TYPE:** *N/A*  
**VAPOR RETARDER:** *N/A*  
**DECK TYPE:** *Steel*  
**DRAINAGE:** *Interior Drains with Overflow Interior Drains*  
**REMARKS:** *The core consists of a Fully Adhered EPDM Roof System, over Wood Fiber insulation, over tapered Polyisocyanurate insulation, over the decking.*

**CORE SAMPLE #:** *Three, Field Membrane, Roof Section C*  
**NUMBER OF PLIES:** *One (EPDM)*  
**INSULATION TYPE & THICKNESS:** *Wood Fiber 0.5" / Polyisocyanurate (Tapered)*  
**BITUMEN TYPE:** *N/A*  
**VAPOR RETARDER:** *N/A*  
**DECK TYPE:** *Steel*  
**DRAINAGE:** *Interior Drains with Overflow Interior Drains*  
**REMARKS:** *The core consists of a Fully Adhered EPDM Roof System, over Wood Fiber insulation, over tapered Polyisocyanurate insulation, over the decking.*

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO ONE**



**CONDITION:** An overview of the Fully Adhered EPDM Roof System on Section A.

**RECOMMENDED ACTION:** For your information.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

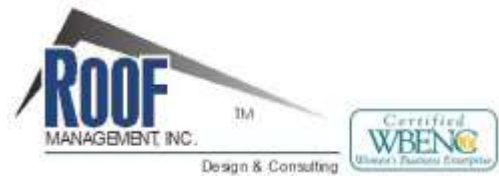
**PHOTO TWO**



**CONDITION:** Use of the roof hatch presents a fall hazard. A safety rail system should be installed around this roof hatch.

**RECOMMENDED ACTION:** For your information.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO THREE**



**CONDITION:** An overview of the Fully Adhered EPDM Roof System on Section B.

**RECOMMENDED ACTION:** For your information.



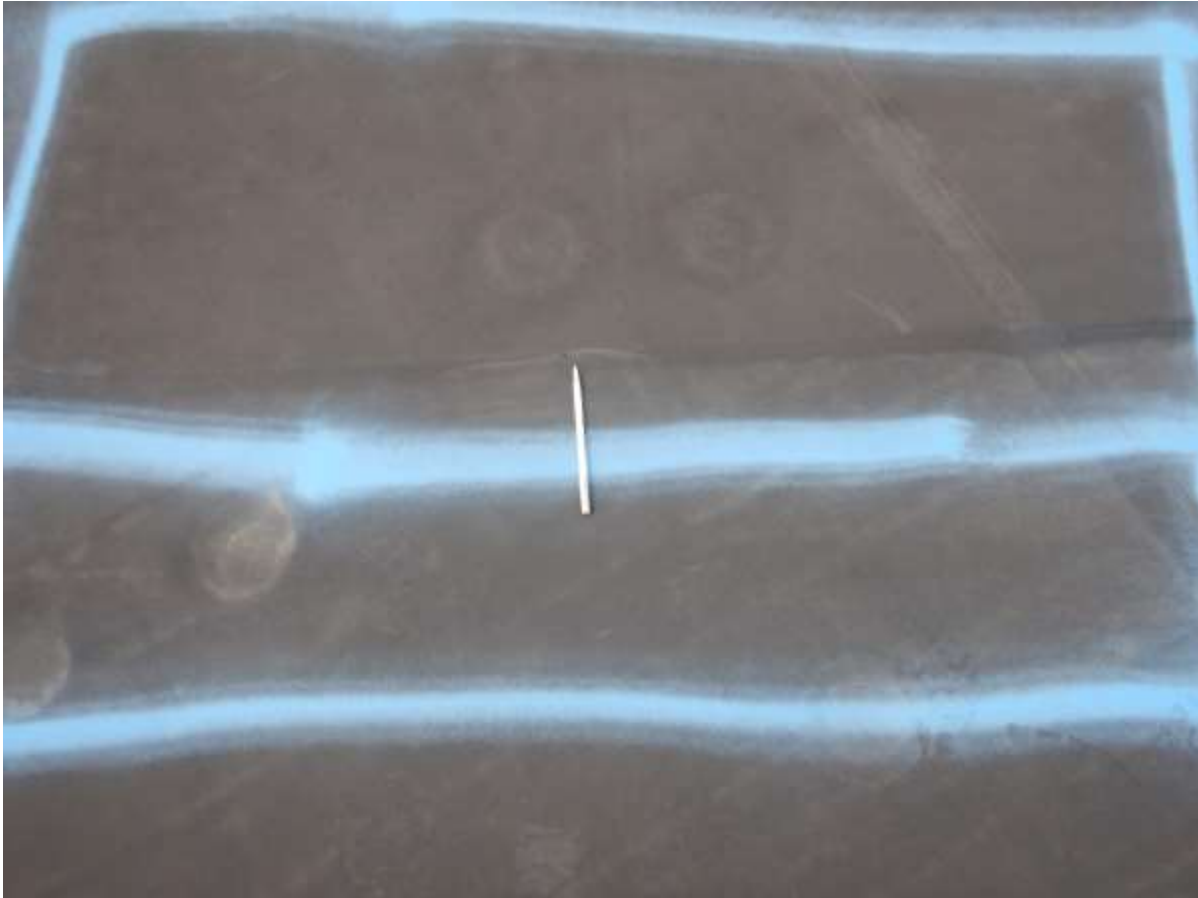
**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

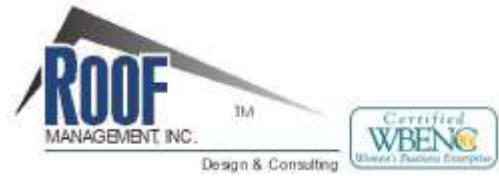
**PHOTO FOUR**



**CONDITION:** The field membrane is damaged within this area of wet substrate identified in the Infrared Roof Moisture Survey.

**RECOMMENDED ACTION:** All affected material should be removed and replaced with matching Firestone materials.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO FIVE**



**CONDITION:**    There is a void in the corner flashing at this location.

**RECOMMENDED ACTION:**    The void should be repaired with Firestone membrane to match existing.

**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

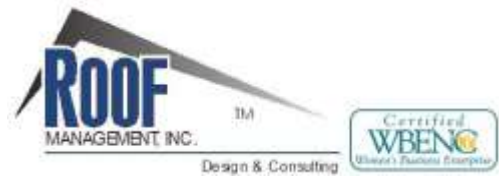
**PHOTO SIX**



**CONDITION:**    Use of the roof hatch presents a fall hazard. A safety rail system should be installed around this roof hatch.

**RECOMMENDED ACTION:**    For your information.

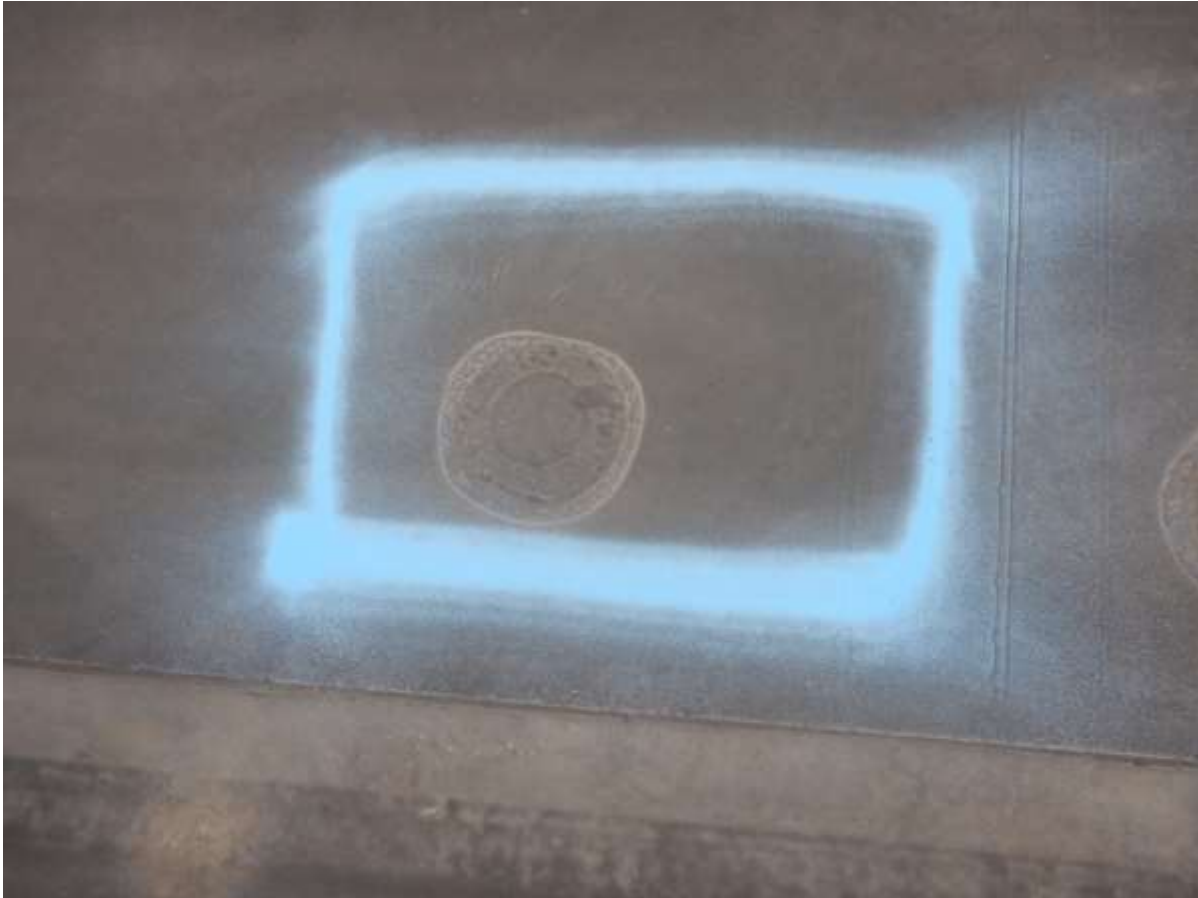
**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO SEVEN**



**CONDITION:** The field membrane is damaged within this area of wet substrate identified in the Infrared Roof Moisture Survey.

**RECOMMENDED ACTION:** All affected material should be removed and replaced with matching Firestone materials.

**PHOTO EIGHT**



**CONDITION:** There is a void in the pipe penetration at this location.

**RECOMMENDED ACTION:** A new sheet metal cap should be installed and extend eight -inches (8") over the pipe penetration.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO NINE**

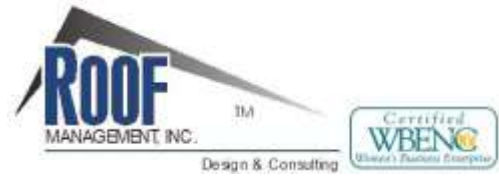


**CONDITION:** An overview of the Fully Adhered EPDM Roof System on Section C.

**RECOMMENDED ACTION:** For your information.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

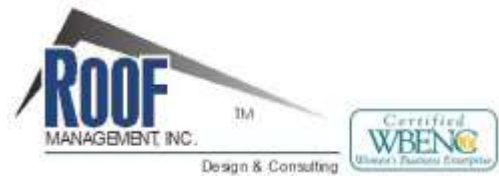
**PHOTO TEN**



**CONDITION:** The base flashing is split at this location.

**RECOMMENDED ACTION:** The void should be repaired with Firestone membrane to match existing.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO ELEVEN**



**CONDITION:** A view of wet substrate identified in the Infrared Roof Moisture Survey; no surface anomalies were identified in this area.

**RECOMMENDED ACTION:** All affected material should be removed and replaced with matching Firestone materials.

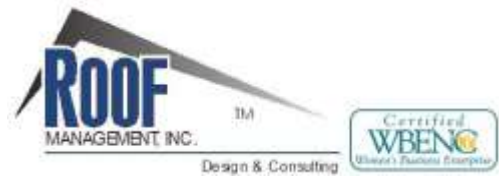
**PHOTO TWELVE**



**CONDITION:** A view of wet substrate identified in the Infrared Moisture Roof Survey; no surface anomalies were identified in this area.

**RECOMMENDED ACTION:** All affected material should be removed and replaced with matching Firestone materials.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

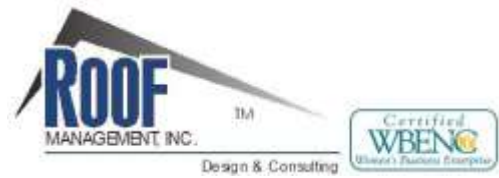
**PHOTO THIRTEEN**



**CONDITION:** Use of the roof hatch presents a fall hazard. A safety rail system should be installed around this roof hatch.

**RECOMMENDED ACTION:** For your information.

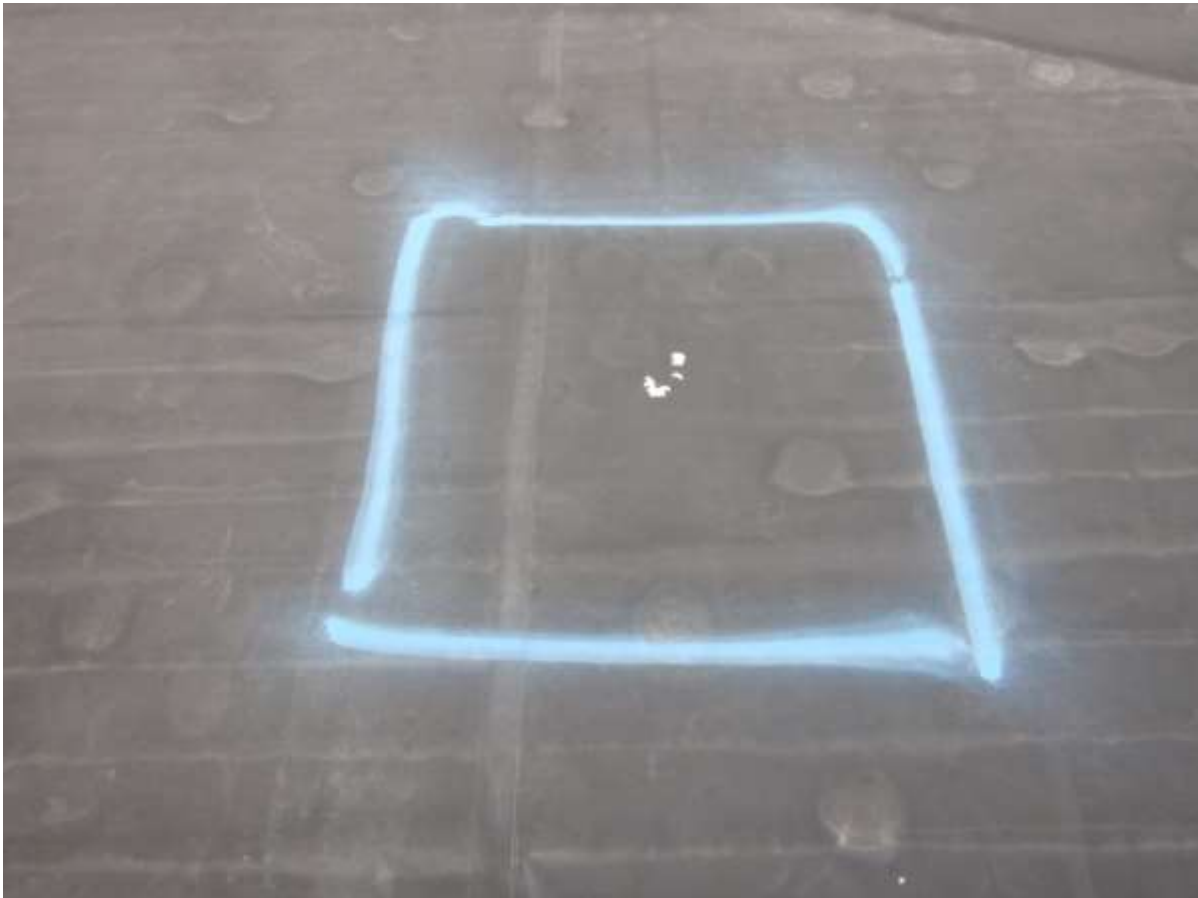
**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO FOURTEEN**



**CONDITION:** The field membrane is damaged within this area of wet substrate identified in the Infrared Roof Moisture Survey.

**RECOMMENDED ACTION:** All affected material should be removed and replaced with matching Firestone materials.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO FIFTEEN**



**CONDITION:** The field membrane is damaged within this area of wet substrate identified in the Infrared Roof Moisture Survey.

**RECOMMENDED ACTION:** All affected material should be removed and replaced with matching Firestone materials.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

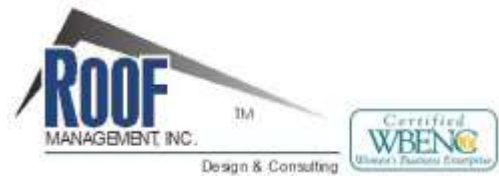
**PHOTO SIXTEEN**



**CONDITION:** An overview of the existing Dimension Shingle Roof System on Section D1.

**RECOMMENDED ACTION:** For your information.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

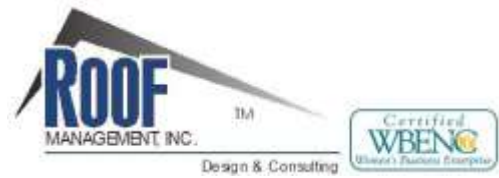
**PHOTO SEVENTEEN**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO EIGHTEEN**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

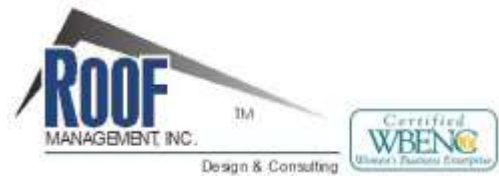
**PHOTO NINETEEN**



**CONDITION:** The shingle surface is scored at this location.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

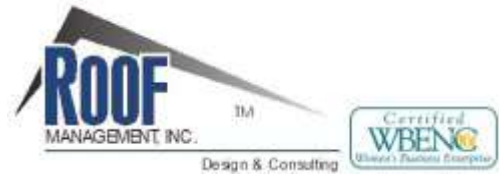
**PHOTO TWENTY**



**CONDITION:** An overview of the existing Dimensional Shingle Roof System on Section D2.

**RECOMMENDED ACTION:** For your information.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO TWENTY-ONE**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

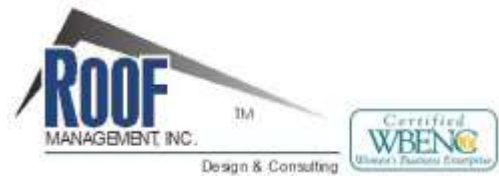
**PHOTO TWENTY-TWO**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

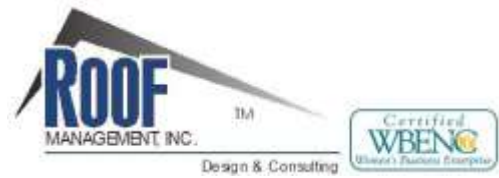
**PHOTO TWENTY-THREE**



**CONDITION:** An overview of the existing Dimensional Shingle Roof System on Section E1.

**RECOMMENDED ACTION:** For your information.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO TWENTY-FOUR**



**CONDITION:**    Roofing nails are exposed in this area.

**RECOMMENDED ACTION:**    This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

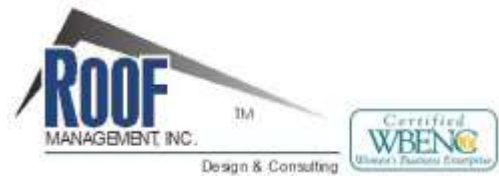
**PHOTO TWENTY-FIVE**



**CONDITION:** View of nail pop through the shingle.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO TWENTY-SIX**



**CONDITION:**    The shingle is raised from the protruding roofing nail.

**RECOMMENDED ACTION:**    This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO TWENTY-SEVEN**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

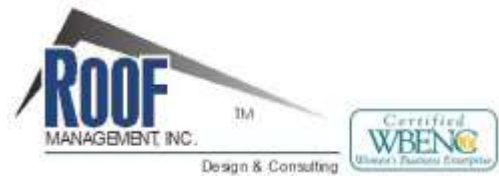
**PHOTO TWENTY-EIGHT**



**CONDITION:** An overview of the existing Dimensional Shingle Roof System on Section E2.

**RECOMMENDED ACTION:** For your information.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

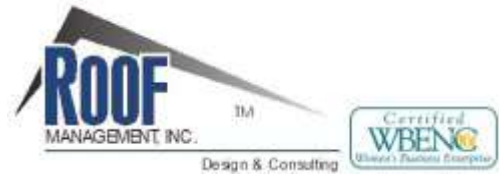
**PHOTO TWENTY-NINE**



**CONDITION:** Granules are collecting in the gutter system.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO THIRTY**



**CONDITION:** The pre-molded pipe boot is split at this location.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

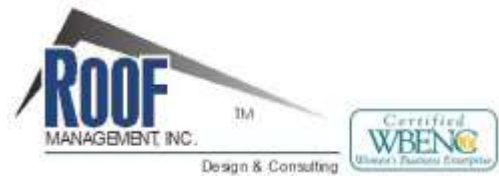
**PHOTO THIRTY-ONE**



**CONDITION:** An overview of the existing Dimensional Shingle Roof System on Section F1.

**RECOMMENDED ACTION:** For your information.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO THIRTY-TWO**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

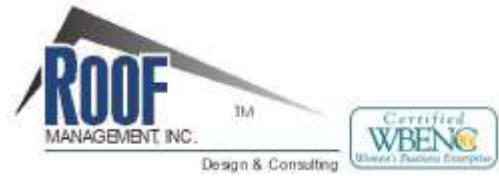
**PHOTO THIRTY-THREE**



**CONDITION:** There is a void in the previous repair attempt at this location.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO THIRTY-FOUR**



**CONDITION:** The Dimensional Shingles are damaged in this area.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

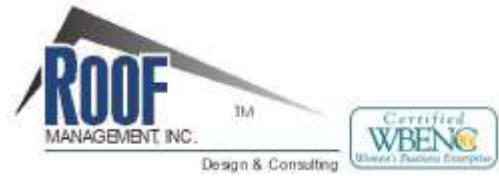
**PHOTO THIRTY-FIVE**



**CONDITION:** An overview of the existing Dimensional Shingle Roof System on Section F2.

**RECOMMENDED ACTION:** For your information.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

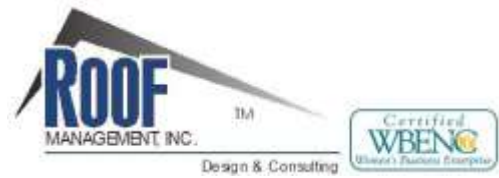
**PHOTO THIRTY-SIX**



**CONDITION:** A view of a nail pop through the shingle at this location.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO THIRTY-SEVEN**



**CONDITION:** An overview of the existing Dimensional Shingle Roof System on Section F3.

**RECOMMENDED ACTION:** For your information.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

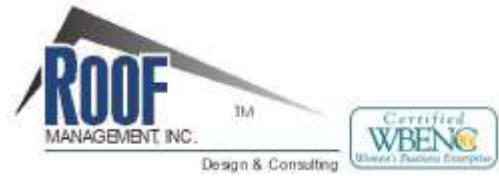
**PHOTO THIRTY-EIGHT**



**CONDITION:** An overview of the existing Dimensional Shingle Roof System on Section G1.

**RECOMMENDED ACTION:** For your information.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

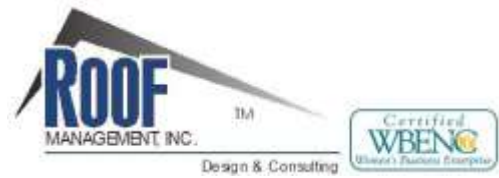
**PHOTO THIRTY-NINE**



**CONDITION:** The shingles are buckled in this area.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO FORTY**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

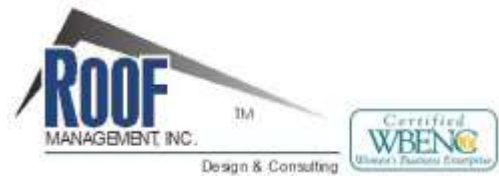
**PHOTO FORTY-ONE**



**CONDITION:** The shingles are raised at the perimeter edge.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO FORTY-TWO**



**CONDITION:     Roofing nails are exposed at random location.**

**RECOMMENDED ACTION:     This condition will be corrected during roof replacement.**



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

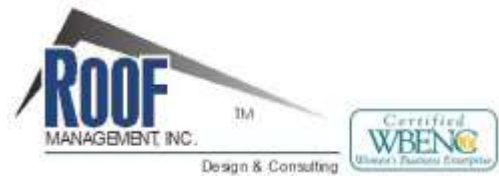
**PHOTO FORTY-THREE**



**CONDITION:**    An overview of the existing Dimensional Shingle Roof System on Section G2.

**RECOMMENDED ACTION:**    For your information.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

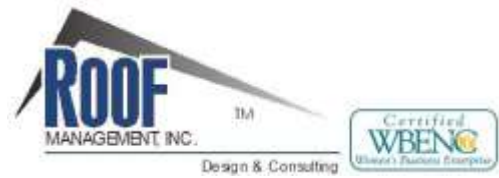
**PHOTO FORTY-FOUR**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO FORTY-FIVE**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO FORTY-SIX**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

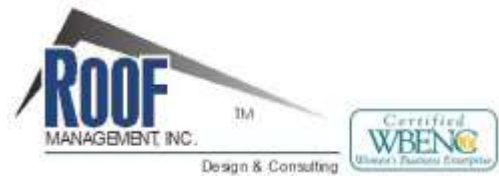
**PHOTO FORTY-SEVEN**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

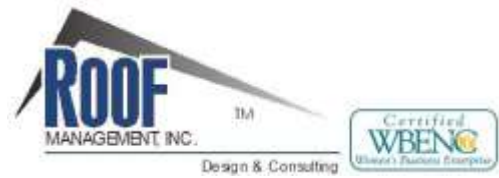
**PHOTO FORTY-EIGHT**



**CONDITION:** A view of caulk repairs in this area.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO FORTY-NINE**



**CONDITION:** An overview of the existing Dimensional Shingle Roof System on Section H1.

**RECOMMENDED ACTION:** For your information.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO FIFTY**

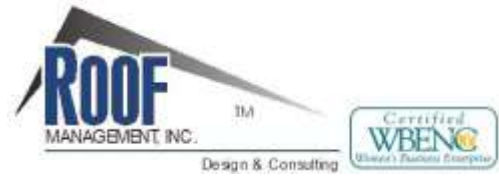


**CONDITION:** A view of caulk repairs in this area.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

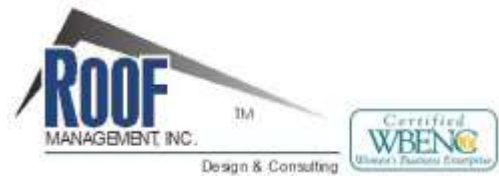
**PHOTO FIFTY-ONE**



**CONDITION:** The shingles are damaged in this area.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

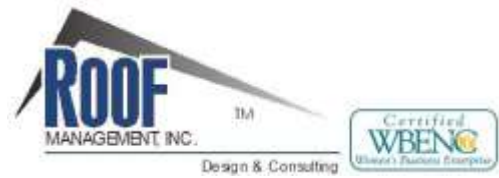
**PHOTO FIFTY-TWO**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO FIFTY-THREE**



**CONDITION:** Another overview of the existing Dimensional Shingle Roof System on Section H1.

**RECOMMENDED ACTION:** For your information.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO FIFTY-FOUR**



**CONDITION:** Previous repairs were noted in widespread locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

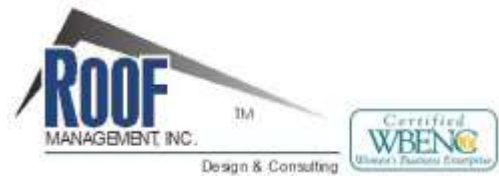
**PHOTO FIFTY-FIVE**



**CONDITION:** Previous repairs were noted in widespread locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

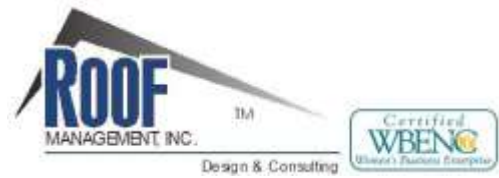
**PHOTO FIFTY-SIX**



**CONDITION:** A view of widespread caulk repairs in this area.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO FIFTY-SEVEN**



**CONDITION:** An overview of the existing Dimensional Shingle Roof System on Section H2.

**RECOMMENDED ACTION:** For your information.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

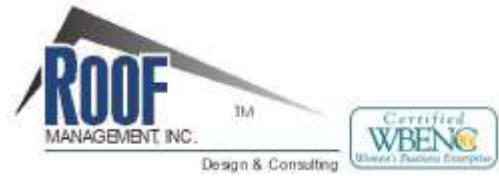
**PHOTO FIFTY-EIGHT**



**CONDITION:** Previous repairs were noted in widespread locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO FIFTY-NINE**

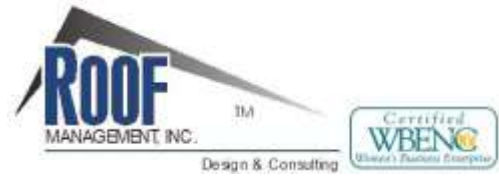


**CONDITION:** The shingle is damaged at this location.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO SIXTY**

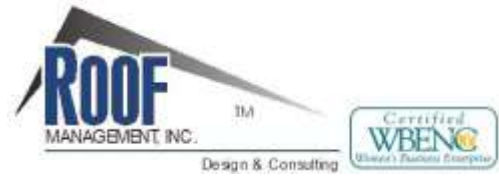


**CONDITION:** A view of caulk repair in this area.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

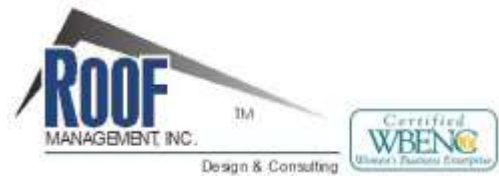
**PHOTO SIXTY-ONE**



**CONDITION:** An overview of the existing Dimensional Shingle Roof System on Section I1.

**RECOMMENDED ACTION:** For your information.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

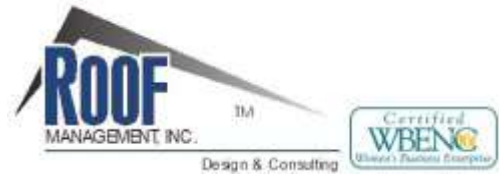
**PHOTO SIXTY-TWO**



**CONDITION:** The shingle is damaged at this location.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO SIXTY-THREE**



**CONDITION:** A view of widespread caulk repairs in this area.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

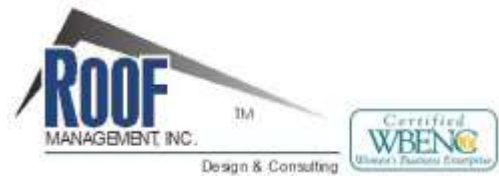
**PHOTO SIXTY-FOUR**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

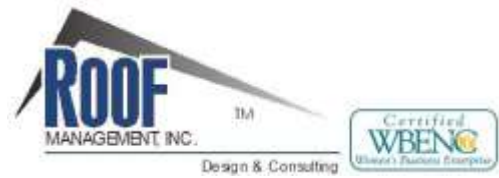
**PHOTO SIXTY-FIVE**



**CONDITION:** A view of widespread caulk repairs in this area.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO SIXTY-SIX**



**CONDITION:** A view of caulk repairs in this area.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

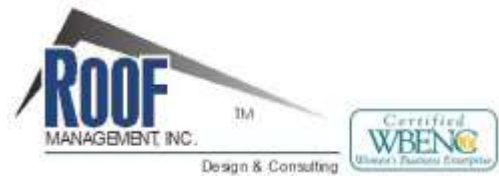
**PHOTO SIXTY-SEVEN**



**CONDITION:** An overview of the existing Dimensional Shingle Roof System on Section I2.

**RECOMMENDED ACTION:** For your information.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

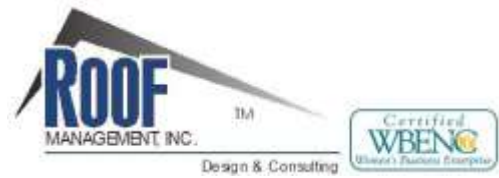
**PHOTO SIXTY-EIGHT**



**CONDITION:** Previous repairs were noted in random locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO SIXTY-NINE**



**CONDITION:** A view of caulk repairs in this area.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

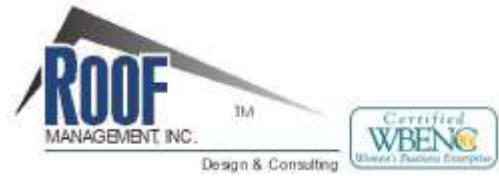
**PHOTO SEVENTY**



**CONDITION:** Previous repairs were noted in widespread locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO SEVENTY-ONE**



**CONDITION:** View of a nail pop which is a random condition.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO SEVENTY-TWO**

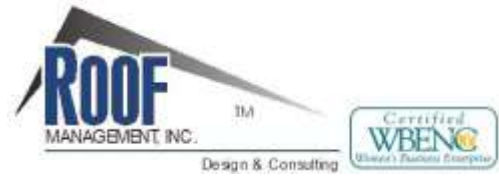


**CONDITION:**    The shingle is damaged at this location.

**RECOMMENDED ACTION:**    This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

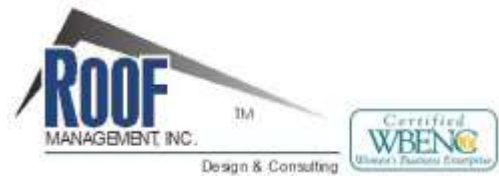
**PHOTO SEVENTY-THREE**



**CONDITION:** A view of caulk repairs in this area.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO SEVENTY-FOUR**



**CONDITION:** An overview of the existing Dimensional Shingle Roof System on Section J1.

**RECOMMENDED ACTION:** For your information.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO SEVENTY-FIVE**

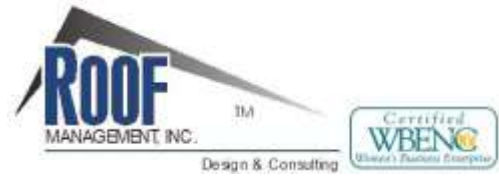


**CONDITION:** A view of caulk repairs in this area.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

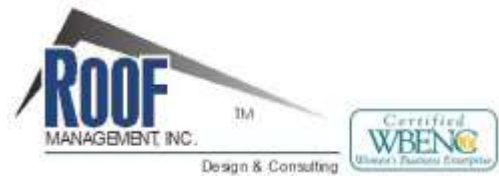
**PHOTO SEVENTY-SIX**



**CONDITION:** Previous repairs were noted in widespread locations.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO SEVENTY-SEVEN**



**CONDITION:** The shingle is raised from the nail pop at this location.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO SEVENTY-EIGHT**



**CONDITION:** The shingle is damaged at this location.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

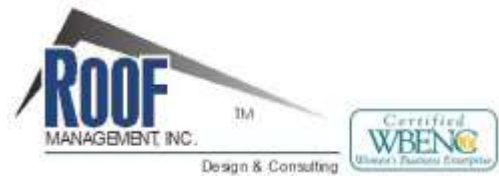
**PHOTO SEVENTY-NINE**



**CONDITION:** An overview of the existing Dimensional Shingle Roof System on Section J2.

**RECOMMENDED ACTION:** For your information.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO EIGHTY**

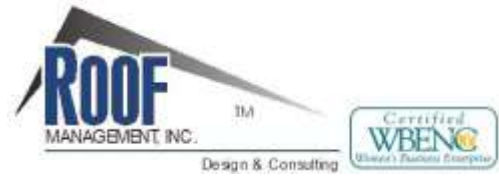


**CONDITION:** There is a void in the previous repair attempt at this location.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

**PHOTO EIGHTY-ONE**

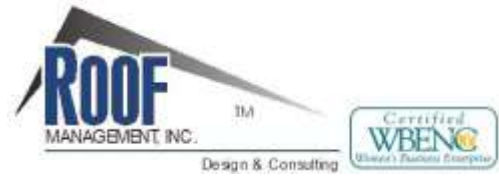


**CONDITION:** There is a void in the previous repair attempt at this location.

**RECOMMENDED ACTION:** This condition will be corrected during roof replacement.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

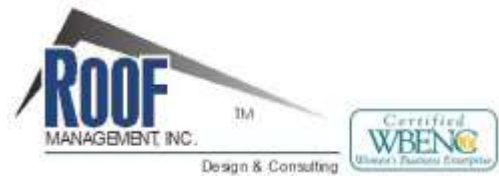
**PHOTO EIGHTY-TWO**



**CONDITION:** An overview of the Metal Roof System on Section K.

**RECOMMENDED ACTION:** For your information.

**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



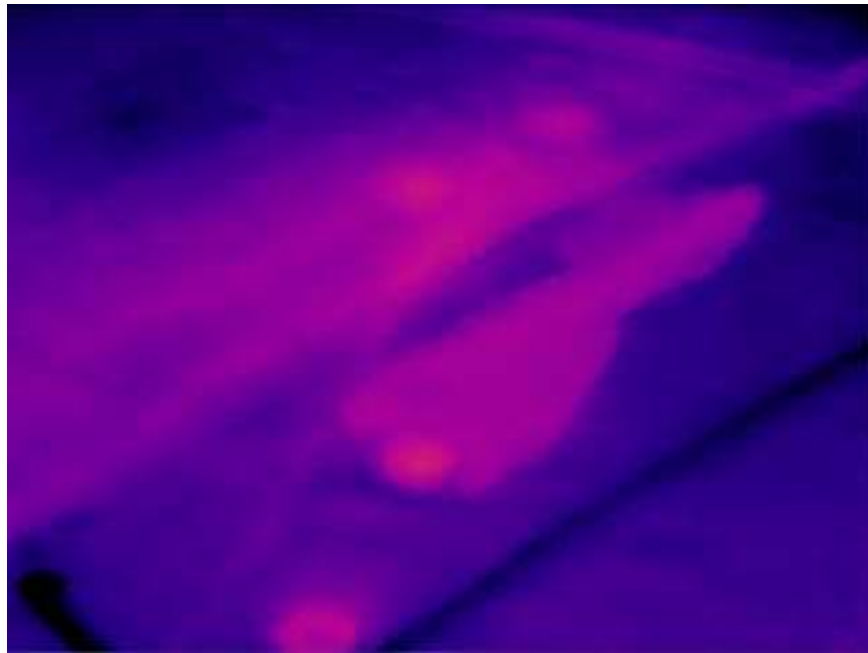
**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

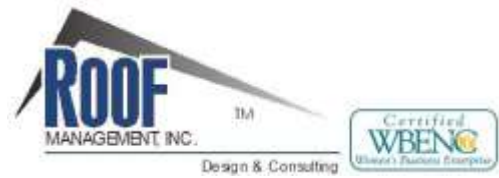
**THERMOGRAM ONE**

**LOCATION:** Roof Section B, Wet Area #1

**REMARKS:** The brighter area appearing on the surface of the roof depicts moisture laden insulation. This small wet area is the result of a puncture in the surface membrane.



**FRANKLIN TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
9010 EAST SOUTHPORT ROAD  
INDIANAPOLIS, INDIANA**



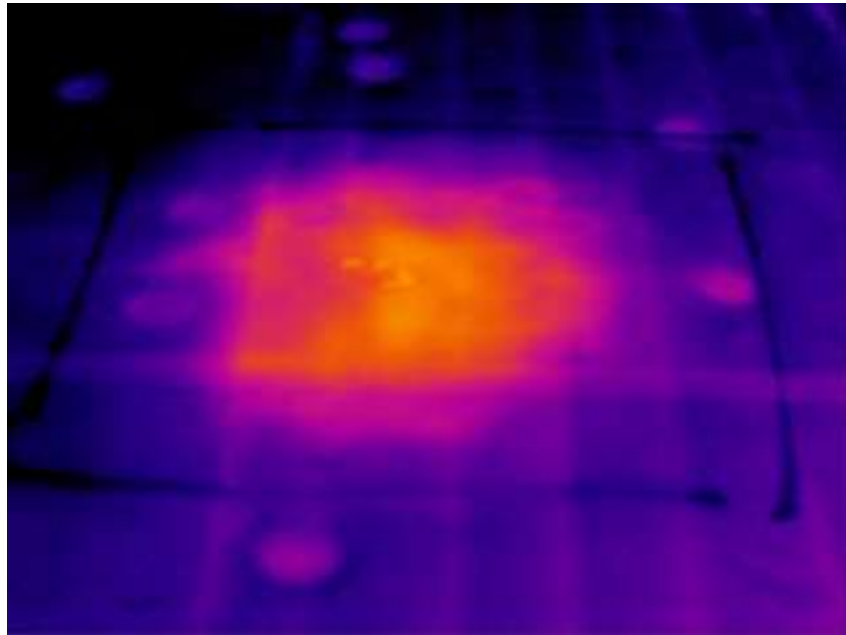
**ROOF EVALUATION**

**R.M.I. # 021-192  
*REVISED* APRIL 12, 2021**

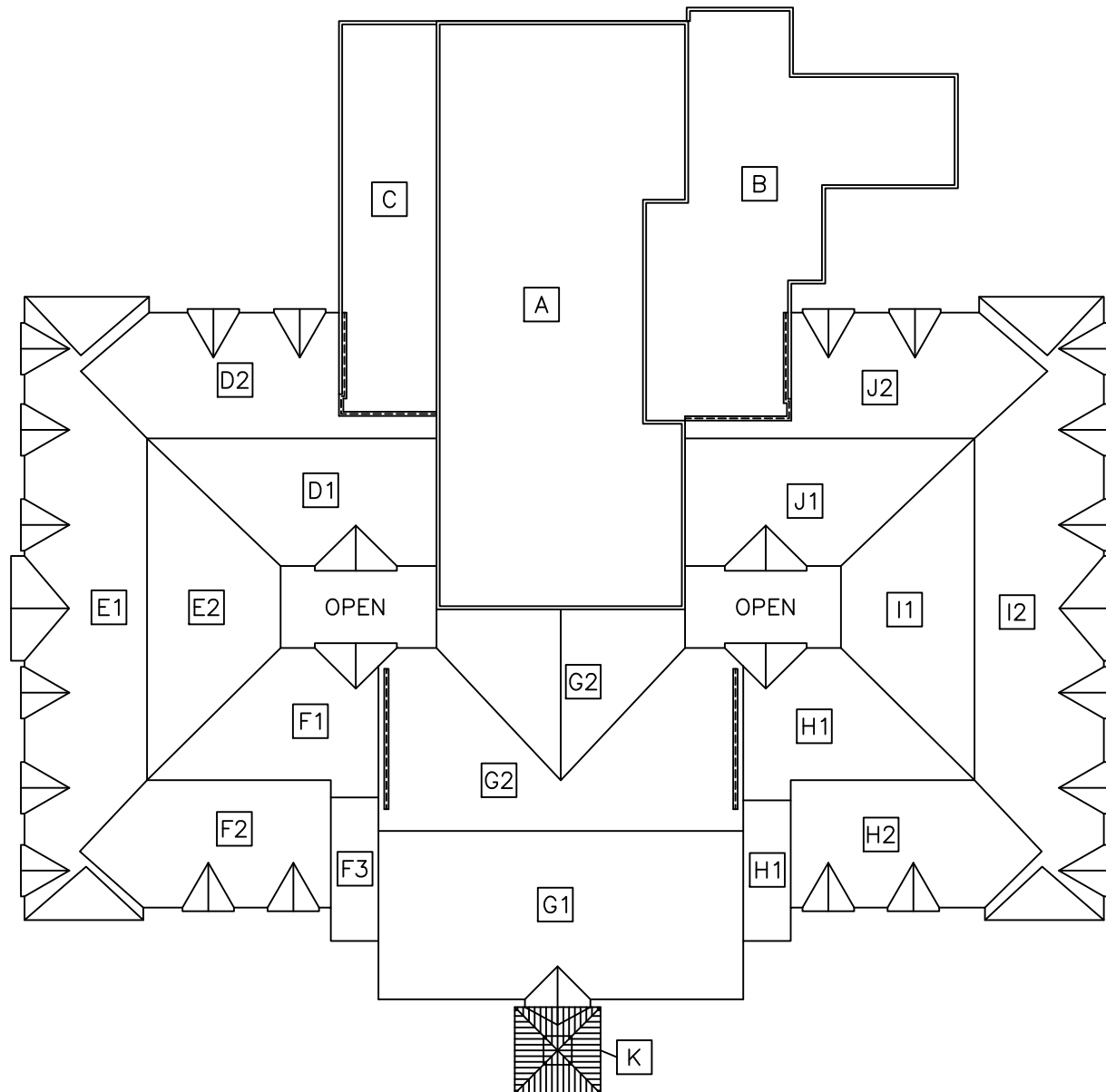
**THERMOGRAM TWO**

**LOCATION:** Roof Section C, Wet Area #3

**REMARKS:** There is a distinct difference between wet and dry insulation visible in this infrared image. Sub-surface moisture is spreading out from the brightest, or most saturated insulation in this area.







# **LEGEND**

© 2021 Roof Management, Inc

FRANKLIN-TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL

## **BUILDING LOCATION:**

9010 EAST SOUTHPORT RD.  
INDIANAPOLIS, IN.

SCALE: RMI #

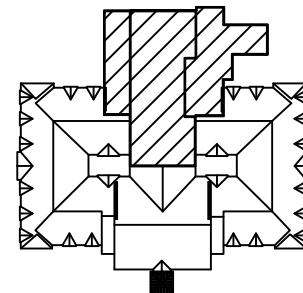
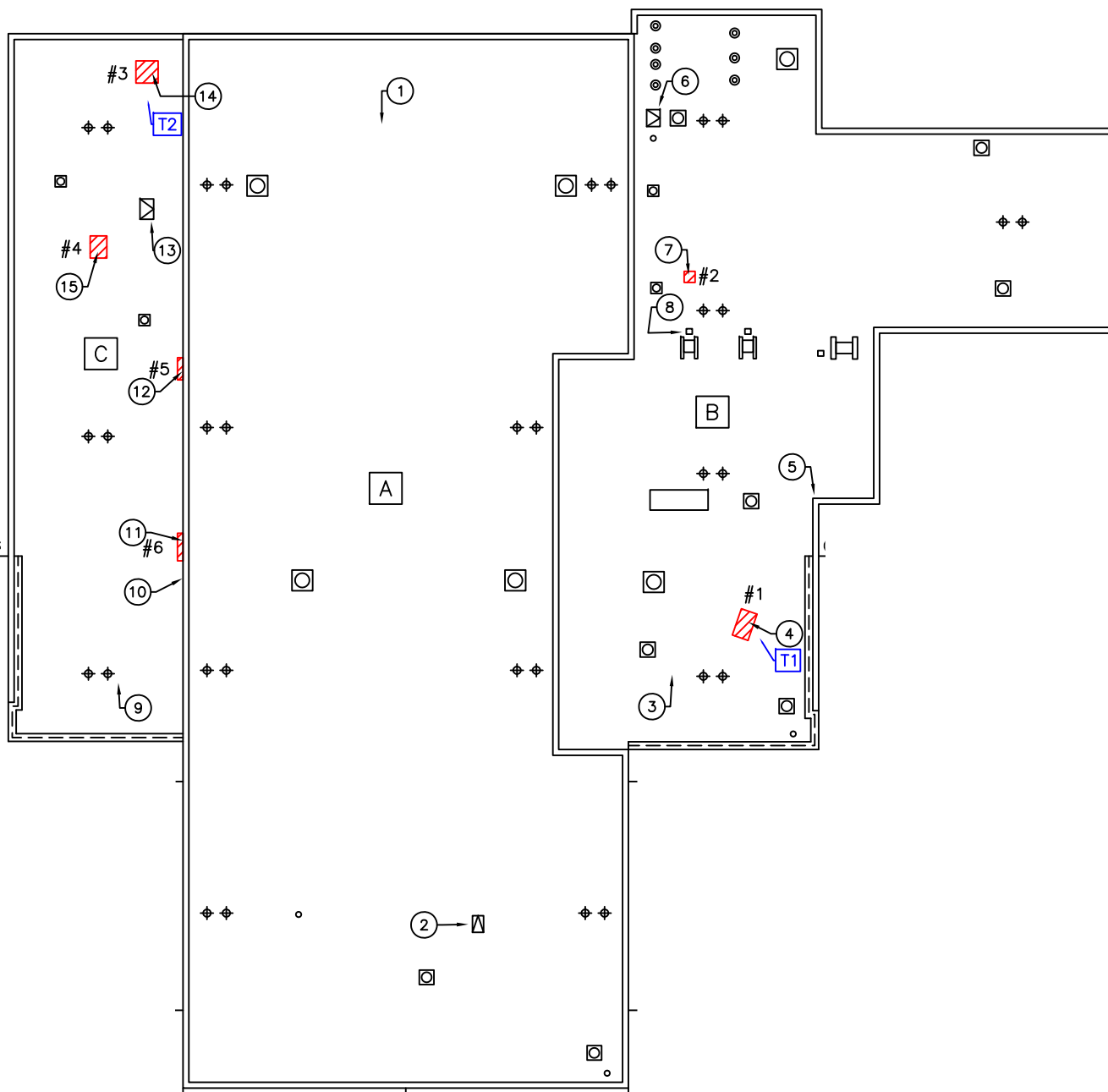
NONE 021-192

DATE:

3/17/2021



P.O. BOX 265  
GOSHEN, KY 40026  
(502) 228-7298



# **LEGEND**

- |                     |                  |
|---------------------|------------------|
| 1 PHOTO             | EXHAUST FAN      |
| HOT PIPE            | SOIL STACK       |
| FLASHED PENETRATION | MISC. CURB       |
| ROOF DRAIN          | PITCH PAN        |
| GUTTER              | HVAC UNIT        |
| ACCESS HATCH        | UNIT ON SLEEPERS |
| EXPANSION JOINT     | WET AREA         |
| T2 THERMOGRAM       |                  |

© 2021 Roof Management, Inc

FRANKLIN-TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
SECTIONS A,B&C

## **BUILDING LOCATION:**

9010 EAST SOUTHPORT RD.  
INDIANAPOLIS, IN.

SCALE: RMI #

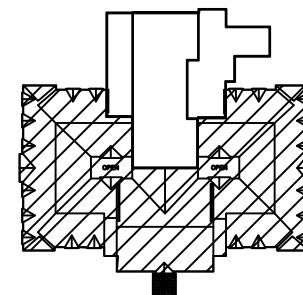
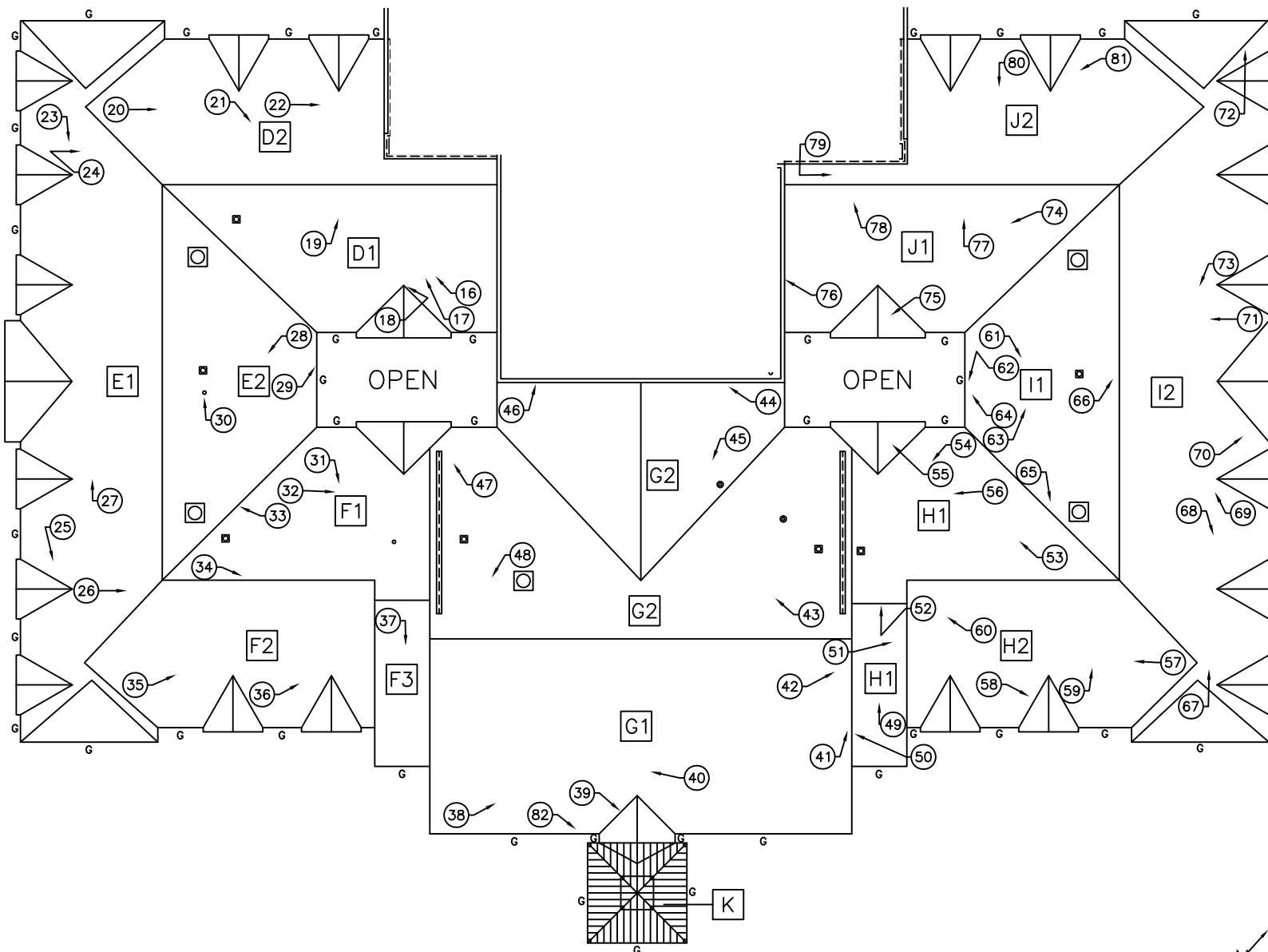
NONE 021-192

DATE:

3/17/2021



P.O. BOX 265  
GOSHEN, KY 40026  
(502) 228-7298



# LEGEND

- |                     |             |
|---------------------|-------------|
| 1 PHOTO             | EXHAUST FAN |
| HOT PIPE            | SOIL STACK  |
| FLASHED PENETRATION | MISC. CURB  |
| GUTTER              | PITCH PAN   |
| EXPANSION JOINT     |             |

© 2021 Roof Management, Inc

FRANKLIN-TOWNSHIP SCHOOL CORP.  
SOUTH CREEK ELEMENTARY SCHOOL  
SECTIONS D1,D2,E1,E2,F1,F2,F3,G1,  
G2,H1,H2,I1,I2,J1&J2

## BUILDING LOCATION:

9010 EAST SOUTHPORT RD.  
INDIANAPOLIS, IN.

SCALE: RMI #

DATE:

NONE 021-192

3/17/2021



P.O. BOX 265  
GOSHEN, KY 40026  
(502) 228-7298